

# B4 U Buy Home and Property Inspections

15466 91A Ave, Surrey, BC V3R 9W8  
Tel: 604 220-7509 Fax: 866 379-2914  
[www.inspectb4ubuy.ca](http://www.inspectb4ubuy.ca) [info@inspectb4ubuy.ca](mailto:info@inspectb4ubuy.ca)

## CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:

**John & Jane Doe**

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### INSPECTION ADDRESS

12382 Balsam Dr, Langley, BC

### INSPECTION DATE

11/7/2007 11:00 am to 2:30 pm



This report is the exclusive property of the Inspection Company and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

## GENERAL INFORMATION

**Inspection Address:** 12382 Balsam Dr, Langley, BC  
**Inspection Date:** 11/7/2007 Time: 11:00 am to 2:30 pm  
**Weather:** Clear and Dry - Temperature at time of inspection: 12 C  
Humidity at time of inspection: 65 %

**Inspected by:** Dan Lagerstrom

**Client Information:** John & Jane Doe  
113-17632 65th Ave, Cloverdale, BC  
Phone: 604 233-3999  
Email: johnandjane@hotmail.com

**Structure Type:** Wood Frame  
**Furnished:** Yes  
**Number of Stories:** One

**Structure Style:** Typical Ranch

**Structure Orientation:** South

**Estimated Year Built:** 1985  
**Unofficial Sq.Ft.:** 1855

**People on Site At Time of Inspection:** Buyer(s)  
Seller(s)  
Buyer's Agent

**PLEASE NOTE:**

**This report is the exclusive property of B4 U Buy Home & Property Inspections and the client whose name appears herewith, and its use by any unauthorized persons is strictly prohibited.**

**The observations and opinions expressed within this report are those of B4 U Buy Home & Property Inspections and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of The Canadian Association of Home and Property Inspectors, and those that we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.**

**In accordance with the terms of the contract, the service recommendations that we make in this report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.**

Report File: Sample Report

## SCOPE OF WORK

You have contracted with B4 U Buy Home & Property Inspections to perform a generalist inspection in accordance with the standards of practice established by The Canadian Association of Home and Property Inspectors, a copy of which is available on our website ([www.inspectb4ubuy.ca](http://www.inspectb4ubuy.ca)). Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most homes built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at [www.epa.gov/iaq/pubs/insidest.htm](http://www.epa.gov/iaq/pubs/insidest.htm).

Mold is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread on the air, land, and feed on organic matter. It has been in existence throughout human history, and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigenic that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled, because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis, and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture and Your Home," by visiting their web site at: <http://www.epa.gov/iaq/molds/moldguide.html/>, from which it can be downloaded.

Asbestos is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greeks and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing

products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer, and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil, and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their affects on health, by contacting the Environmental Protection Agency (EPA), at [www.epa.gov/radon/images/hmbuygud.pdf](http://www.epa.gov/radon/images/hmbuygud.pdf), and it would be prudent for you to enquire about any high radon readings that might be prevalent in the general area surrounding your home.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it does not constitute a viable health threat, but as a component of potable water pipes it would certainly be a health-hazard. Although rarely found in use, lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent before the close of escrow.

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## Exterior

With the exception of condominiums, we evaluate the following exterior features: driveways, walkways, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. We do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person.

### Grading & Drainage

#### General Comments

##### *Informational Components*

Water can be destructive and foster conditions that are deleterious to health. For this reason, the ideal property will have soils that slope away from the residence and the interior floors will be several inches higher than the exterior grade. Also, the residence will have roof gutters and downspouts that discharge into area drains with catch basins that carry water away to hard surfaces. However, we cannot guarantee the condition of any subterranean drainage system, but if a property does not meet this ideal, or if any portion of the interior floor is below the exterior grade, we cannot endorse it and recommend that you consult with a grading and drainage contractor, even though there may not be any evidence of moisture intrusion. The sellers or occupants will obviously have a more intimate knowledge of the site than we could possibly hope to have during our limited visit, however we have confirmed moisture intrusion in residences when it was raining that would not have been apparent otherwise. Also, in conjunction with the cellulose material found in most modern homes, moisture can facilitate the growth of biological organisms that can compromise building materials and produce mold-like substances that can have an adverse affect on health.

#### Moisture & Related Issues

##### *Informational Components*

Moisture intrusion is a perennial problem, with which you should be aware. It involves a host of interrelated factors, and can be unpredictable, intermittent, or constant. When moisture intrusion is not self evident, it can be inferred by musty odors, peeling paint or plaster, efflorescence, or salt crystal formations, rust on metal components, and wood rot. However, condensation and humidity can produce similar conditions if the temperature in an area is not maintained above the dew point. Regardless, if the interior floors of a residence are at the same elevation or lower than the exterior grade we could not rule out the potential for moisture intrusion and would not endorse any such areas. Nevertheless, if such conditions do exist, or if you or any member of your family suffers from allergies or asthma, you should schedule a specialist inspection.

### Interior-Exterior Elevations

##### *Informational Components*

There is an adequate difference in elevation between the exterior grade and the interior floors that should ensure that moisture intrusion would not threaten the living space, but of course we cannot guarantee that.

### Flat & Level Pad

##### *Informational Components*

The residence is situated on a flat level pad, which would typically not need a geological evaluation.

### Drainage Mode

##### *Informational Components*

Drainage is facilitated by soil percolation hard surfaces, area drains, and full or partial gutters, and we did not observe any evidence of moisture threatening the living space. However, the area drains must be kept clean or moisture intrusion could result.

### Drainage Swales

##### *Informational Components*

The drainage swales are clear and clean, and should be kept clean for the general maintenance of the property.

### Area Drains

##### *Informational Components*

The property is served by area drains that appear to be in acceptable condition. However, because it is impossible to see inside them, the seller should guarantee that the drains are functional, or they should be flushed through to the street before the close of escrow. Surface water carries minerals and silt that is

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deposited inside the pipes and hardens in the summer months to the consistency of wet concrete, which can impede drainage and require the pipes to be cleared by a rooter service.

## House Wall Finish

### House Wall Finish Type

#### *Informational Components*

The house walls are finished with vinyl siding.

### House Wall Finish Observations

#### *Informational Components*

Some of the vinyl siding has been melted by a barbecue. This is purely cosmetic and should be viewed for yourself.

#### *Components and Conditions Needing Service*

Some of the siding has impact type damage and should be repaired/monitored for leaks.



## Exterior Components

### General Comments

#### *Informational Components*

It is important to maintain a property, including painting or sealing walkways, decks, and other hard surfaces, and it is particularly important to keep the house walls sealed, which provide the only barrier against deterioration. Unsealed cracks around windows, doors, and thresholds can permit moisture intrusion, which is the principle cause of the deterioration of any surface. Unfortunately, the evidence of such intrusion may only be obvious when it is raining. We have discovered leaking windows while it was raining that may not have been apparent otherwise. Regardless, there are many styles of windows but only two basic types, single and dual-glazed. Dual-glazed windows are superior, because they provide a thermal as well as an acoustical barrier. However, the hermetic seals on these windows can fail at any time, and cause condensation to form between the panes. Unfortunately, this is not always apparent, which is why we disclaim an evaluation of hermetic seals. Nevertheless, in accordance with industry standards, we test a representative number of unobstructed windows, and ensure that at least one window in every bedroom is operable and facilitates an emergency exit.

### Driveways

#### *Informational Components*

There are predictable cracks in the driveway that would not necessarily need to be serviced.

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## Walkways

### *Informational Components*

There is an offset in a walkway that could prove to be a trip-hazard.



## Fences & Gates

### *Informational Components*

The fences and gates are serviceable, and would not need service at this time.

## Fascia & Trim

### *Components and Conditions Needing Service*

Sections of the fascia and trim need maintenance type service, and particularly on the south facing side where they are exposed to direct sunlight.

## Sliding Glass Doors

### *Components and Conditions Needing Service*

The sliding glass door does not roll smoothly, and should be serviced.

## Exterior Wooden Doors

### *Informational Components*

The exterior doors are in acceptable condition.

## Wood & Masonry Decks

### *Informational Components*

There are stress fractures in the masonry deck that typically result from expansive soils, the absence of expansion joints, root movement, or seismic activity. We are not able to determine what caused the movement.

## Screens

### *Components and Conditions Needing Service*

Many of the window screens are damaged, and you may wish to have them repaired.

## Outlets

### *Informational Components*

The outlets that were tested are functional and include ground-fault protection.

## Lights

### *Components and Conditions Needing Service*

A light in the south side yard is broken, and should be serviced.

## Structural

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that might appear to be firm and solid can liquefy and become unstable during seismic activity. Also, there are soils that can expand to twice their volume with the influx of water and move structures with relative ease, raising and lowering them and fracturing slabs and other hard surfaces. In fact, expansive soils have accounted for more structural damage than most natural disasters. Regardless, foundations are not uniform, and conform to the structural standard of the year in which they were built. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

### Various Hard Surfaces

#### Common Observations

##### *Informational Components*

There are common settling, or curing, cracks in the hard surfaces. This is somewhat predictable, and is typically not regarded as being structurally significant.

### Structural Elements

#### Identification of Wall Structure

##### *Informational Components*

The walls are conventionally framed with wooden studs.

#### Identification of Floor Structure

##### *Informational Components*

The floor structure consists of a poured slab that could include reinforcing steel.

#### Identification of Ceiling Structure

##### *Informational Components*

The ceiling structure consists of engineered joists that are part of a prefabricated truss system.

#### Identification of Roof Structure

##### *Informational Components*

The roof structure consists of a prefabricated truss system.

### Slab Foundation

#### General Comments

##### *Informational Components*

This residence has a slab foundation. Such foundations vary considerably from older ones that have no moisture barrier under them and no reinforcing steel within them to newer ones that have both. Our inspection of slab foundations conforms to industry standards, which is that of a generalist and not a specialist. We check the visible portion of the stem walls on the outside for any evidence of significant cracks or structural deformation, but we do not move furniture or lift carpeting and padding to look for cracks or moisture penetration, and we do not use any of the specialized devices that are used to establish relative elevations and confirm differential movement. Significantly, many slabs are built or move out of level, but the average person

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may not become aware of this until there is a difference of more than one inch in twenty feet, which most authorities regard as being tolerable.

Many slabs are found to contain cracks when the carpet and padding are removed, including some that contour the edge and can be quite wide. They typically result from shrinkage and usually have little structural significance. However, there is no absolute standard for evaluating cracks, and those that are less than 1/4" and which exhibit no significant vertical or horizontal displacement are generally not regarded as being significant. Although they typically do result from common shrinkage, they can also be caused by a deficient mixture of concrete, deterioration through time, seismic activity, adverse soil conditions, and poor drainage, and if they are not sealed they can allow moisture to enter a residence, and particularly if the residence is surcharged by a hill or even a slope, or if downspouts discharge adjacent to the slab. However, in the absence of any major defects, we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert, and we would be happy to refer one.

### **Method of Evaluation**

#### *Informational Components*

We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

### **Common Observations**

#### *Informational Components*

The residence has a bolted, slab foundation with no visible or significant abnormalities.



The concrete slab slopes 7/8 inches. Less than 1 inch in 20 feet is considered acceptable.

## **Roof**

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and the regularity of its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your

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home insurance policy, or that you obtain a roof certification from an established local roofing company.

## Composition Shingle Roof

### General Comments

#### *Informational Components*

There are a wide variety of composition shingle roofs, which are comprised of asphalt or fiberglass materials impregnated with mineral granules that are designed to deflect the deteriorating ultra-violet rays of the sun. The commonest of these roofs are warranted by manufacturers to last from twenty to twenty-five years, and are typically guaranteed against leaks by the installer for three to five years. The actual life of the roof will vary, depending on a number of interrelated factors besides the quality of the material and the method of installation. However, the first indication of significant wear is apparent when the granules begin to separate and leave pockmarks or dark spots. This is referred to as primary decomposition, which means that the roof is in decline, and therefore susceptible to leakage. This typically begins with the hip and ridge shingles and to the field shingles on the south facing side. This does not mean that the roof needs to be replaced, but that it should be monitored more regularly and serviced when necessary. Regular maintenance will certainly extend the life of any roof, and will usually avert most leaks that only become evident after they have caused other damage.

### Method of Evaluation

#### *Informational Components*

We evaluated the roof and its components by walking on its surface.

### Estimated Age

#### *Informational Components*

The roof appears to be relatively new, and is not original. However, this is just an estimate and you should request this information from the sellers, which will reveal its exact age and any warranty or guarantee that might be applicable.

### Roofing Material

#### *Informational Components*

The roof appears to be in acceptable condition.

### Flashings

#### *Informational Components*

The roof flashings appear to be in acceptable condition.

### Skylights

#### *Informational Components*

The roof includes one or more skylights, which are notoriously problematic and a common point of leaks. There are different methods of installing them and, although opinions will vary, some methods are better than others.

Therefore, it will be important to keep the area around them clean and to monitor them for evidence of leaks.

### Gutters & Drainage

#### *Components and Conditions Needing Service*

The gutters need to be serviced to drain properly.



## Chimney

Our inspection of masonry and factory-built chimneys is purely visual and not as in-depth as one which might be performed by a specialists with a knowledge of codes and standards, and typically involves dismantling components and/or investigations with video-scan equipment and other means to evaluate chimneys.

### Living Room Chimney

#### General Lined Masonry

##### *Informational Components*

The chimney is a lined masonry type, which is the most dependable because the flue liner not only provides a smooth transition for the bi-products of combustion to be vented beyond the residence but provides an approved thermal barrier as well.

#### Common Observations

##### *Informational Components*

There are small cracks in the chimney walls and grout joints which you may wish to have evaluated. However, such cracks are quite common, and rarely have any structural significance in a lined chimney. They can result from shrinkage, common settling, thermal extremes, moisture contamination, and the expansion and contraction associated with freezing and thawing,

#### Chimney Flue

##### *Informational Components*

The portions of the flue that are visible appear to be in acceptable condition.

#### Damper

##### *Informational Components*

The damper is functional.

#### Hearth

##### *Informational Components*

The hearth has cosmetic damage, but none that would necessarily need service. However, you may wish to view this for yourself.

#### Mantle

##### *Components and Conditions Needing Service*

The mantle is not adequately secured, and should be serviced.

## Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, water pipes, pressure regulators, pressure relief valves, shut-off valves, drain and vent pipes, and water-heating devices, most of which we do not test if they are not in daily use (many shutoff valves which have not been used in quite some time, will leak immediately after opening or closing them. Any such valve should be monitored for leaks). The best and most dependable water pipes are copper, because they are not subject to the build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the pipes, for which there would be no remedy other than a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds sixty to eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components.

Waste and drainpipes pipes are equally varied, and range from modern ABS ones [acrylonitrile butadiene styrene] to older ones made of cast-iron, galvanized steel, clay, and even a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to

damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, can be expensive to repair, and for this reason we recommend having them video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems must be evaluated by specialists licensed by the Province of BC.

## Potable Water Supply Pipes

### Pressure Regulators

#### *Informational Components*

A functional pressure regulator is in place on the plumbing system.

The pressure inside the residence is 57 psi, with a flow of 6.5 gpm (gallons per minute). Most regulators are set at 60 psi, and a pressure of over 80 psi can damage valves in dishwashers and washing machines, and will stress components of the system. A flow rate of 5 - 8 gpm is typical.

### Water Main Shut-off Location

#### *Informational Components*

The main water shut-off valve is located adjacent to the entry.



### Pressure Relief Valves

#### *Informational Components*

There is a pressure relief valve on the plumbing system, as required.

### Polybutylene Water Pipes

#### *Informational Components*

The system includes polybutylene water pipes (including supply pipe), commonly referred to as PB, that have been alleged to be defective, and could be replaced at no cost to the consumer. They were installed in homes between 1978 and 1995. They are easily recognizable as a flexible, gray, blue, or black plastic, which include metal fittings that are connected by aluminum or copper bands. However, they should not be confused with PVC pipe, which is white and rigid and commonly used for irrigation. You can learn more about these pipes on the Web at [www.pbpipe.com](http://www.pbpipe.com).

### Hose Bibs

#### *Components and Conditions Needing Service*

The hose bibs should be upgraded to an anti-siphon type.

## General Gas Components

### Gas Main Shut-Off Location

#### *Informational Components*

The gas main shut-off is located in the side yard. You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments, which is why natural gas is odorized in the manufacturing process. Therefore, we recommend that you request a recent gas bill from the sellers, so that you can establish a norm and thereby be alerted to any potential leak.

## Gas Water Heaters

### General Comments

#### *Informational Components*

There are a wide variety of residential water heaters that range in capacity from fifteen to one hundred gallons. They can be expected to last at least as long as their warranty, or from five to eight years, but they will generally last longer. However, few of them last longer than fifteen or twenty years and many eventually leak. So it is always wise to have them installed over a drain pan plumbed to the exterior. Also, it is prudent to flush them annually to remove minerals that include the calcium chloride bi-product of many water softening systems. The water temperature should be set at a minimum of 110 degrees fahrenheit to kill microbes and a maximum of 140 degrees to prevent scalding. Also, water heaters can be dangerous if they are not seismically secured and equipped with either a pressure/temperature relief valve and discharge pipe plumbed to the exterior, or a Watts 210 gas shut-off valve.

### Age Capacity & Location

#### *Informational Components*

Hot water is provided by a 13 year old, 40 gallon heater that is located in the utility closet.

### Common Observations

#### *Informational Components*

The water heater is functional, but is near the end of its' life, and should be expected to fail at any time.

### Water Shut-Off Valve & Connectors

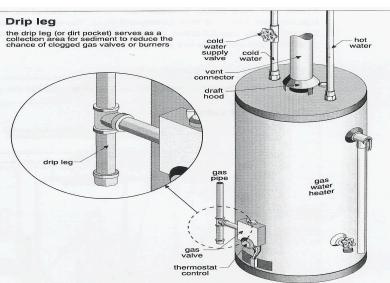
#### *Components and Conditions Needing Service*

There is no water shut-off valve, which is required and should be installed.

### Gas Shut-Off Valve & Connector

#### *Components and Conditions Needing Service*

There is not a drip leg present in the gas line which can result in a clogged burner. I recommend having one installed when the water tank is replaced.



### Vent Pipe & Cap

#### *Components and Conditions Needing Service*

The vent pipe is too close to combustible material, and should be serviced before the close of escrow. A single-walled vent pipe should be six inches away from any combustible material, and a double-walled vent pipe should be one inch away.

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## Relief Valve & Discharge Pipe

### *Informational Components*

The water heater is equipped with a mandated pressure-temperature relief valve.

## Drain Valve

### *Informational Components*

The drain valve is in place and presumed to be functional.

## Drain Pan & Discharge Pipe

### *Informational Components*

The water heater is equipped with a drain pan and a discharge pipe, which is designed to prevent water damage from a leak. Nevertheless, the water heater should be periodically monitored for any signs of a leak.

## Combustion Air Vents

### *Informational Components*

The water heater does have appropriate combustion-air vents.

## Seismic Straps

### *Components and Conditions Needing Service*

The water heater is not correctly secured, and should be strapped. Straps should be at the top and bottom thirds of the tank, and should not permit the tank to move.

## Waste & Drainage Systems

### **General Comments**

### *Informational Components*

We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the close of escrow. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of rooter service, most of which are relatively inexpensive.

### **Type of Material**

### *Informational Components*

The visible portions of the waste, vent, and drain pipes are a modern acrylonitrile butadiene styrene type, or ABS.

## Drain Waste & Vent Pipes

### *Informational Components*

Based on industry recommended water tests, the drainpipes are functional at this time. However, only a video-scan of the main drainpipe could confirm its actual condition.

## Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code is not retroactive, and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades. However, we typically recommend upgrading outdoor and garage outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years.

### Main Panel

#### General Comments

##### *Informational Components*

National safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

#### Service Entrance

##### *Informational Components*

The main conductor lines are underground, or part of a lateral service entrance. This is characteristic of modern electrical services but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of our service.

#### Panel Size & Location

##### *Informational Components*

The residence is served by a 100 amp, 220 volt panel, located inside the garage.

#### Main Panel Observations

##### *Informational Components*

The panel and its components have no visible deficiencies.

#### Wiring Observations

##### *Informational Components*

The visible portions of the wiring has no visible deficiencies.

The residence is wired predominantly with a modern vinyl conduit known as Romex.

Anti-oxidizing paste has been used on the aluminum stranded conductors.

#### Circuit Breakers

##### *Components and Conditions Needing Service*

There are several breakers which should be tied together, (kitchen appliances), which are not. This is a safety hazard, as it would be possible to de-energize only half of the receptacle.

#### Grounding

##### *Informational Components*

The panel is grounded to a driven rod.

## Heat

The components of most heating systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we attempt to apprise you of their age. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle any of the following concealed components: the heat exchanger, which is also known as the firebox, humidifiers, and in-line duct motors or dampers .However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. We perform a conscientious evaluation of all such systems, and we take CO readings throughout the house, but it is important to note, some systems may only perform poorly in certain conditions, and may be functioning properly during our inspection. Therefore, in accordance with the terms of our contract, it is essential that any recommendation that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

### Forced-Air Furnaces

#### Age & Location

##### *Informational Components*

Central heat is provided by a 22 year-old forced-air furnace that is located in the utility closet.

#### Furnace

##### *Informational Components*

The furnace is functional. However, it is beyond the commonly accepted design life of twenty years, and will need to be monitored more closely for evidence of metal fatigue.

##### *Components and Conditions Needing Service*

Due to the age of the furnace, and the length of time since its' last service, I would recommend contracting a licensed HVAC technician for an annual checkup. The heat exchanger is starting to show signs of deterioration.

#### Circulating Fan

##### *Informational Components*

The circulating fan is clean and functional.

#### Combustion-Air Vents

##### *Informational Components*

The combustion-air vents for the gas furnace are functional.

#### Return-Air Compartment

##### *Components and Conditions Needing Service*

The filter is dirty and should be changed soon and every two or three months. If filters are not changed regularly, the system can become contaminated, and can be expensive to clean.

#### Thermostats

##### *Informational Components*

The thermostat is functional.

#### Registers

##### *Informational Components*

The registers are reasonably clean and functional.

## Living

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and

doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

## Indoor Environmental Issues

### Environmental Observations

#### *Informational Components*

We do not test for mold or measure indoor air quality, which the Consumer Product safety Commission ranks fifth among potential contaminants. Regardless, a person's health is a truly personal responsibility, and inasmuch as we not inspect for mold or test for other environmental contaminants we recommend that you schedule an inspection by an environmental hygienist before the close of escrow. And this would be imperative if you or any member of your family suffers from allergies or asthma, and could require the sanitizing of air ducts and other concealed areas.

Note: Mold cannot exist without moisture. Therefore, any moisture whatsoever, whether it be from inadequate grading and drainage, a leaking roof, window, or door, or moisture from a faulty exhaust vent, a condensate pipe, an evaporator coil, or a component of a plumbing system should be serviced immediately, or the potential for mold infestation will remain.

## Main Entry

### Furnished Residence Comment

#### *Informational Components*

The residence is furnished, and in accordance with industry standards we only inspect those surfaces that are exposed and readily accessible. We do not move furniture, lift carpets, nor remove or rearrange items within closets and cabinets.

## Living Room

### Walls & Ceiling

#### *Informational Components*

The walls have typical cosmetic damage.

### Dual-Glazed Windows

#### *Components and Conditions Needing Service*

The cords on most of the mini blinds in the house do not have separated bases. This poses a serious risk of strangulation to small children. This should be corrected immediately.

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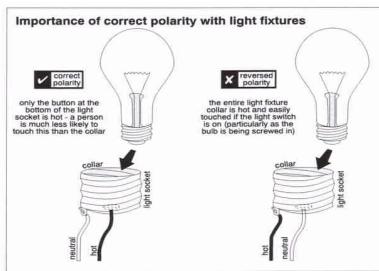
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## Outlets

### *Components and Conditions Needing Service*

An outlet has reversed polarity, and should be serviced.



## Built-In Vacuum

### *Components and Conditions Needing Service*

There is very low suction. This could simply be a full bag, or it could be something more serious. The vendors should be asked to disclose this information.

## Dining Room

### No Recommended Service

#### *Informational Components*

We have evaluated the dining room, and found it to be in acceptable condition.

## Family Room

### Doors

### *Components and Conditions Needing Service*

The exterior door does not open and close easily, and should be serviced.

## Kitchen

We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Also, many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door, and all such appliances should be confirmed to be secure. Regardless, we do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

## Kitchen

### Doors

#### *Components and Conditions Needing Service*

The door striker plate needs to be adjusted for the striker pin to engage.

### Flooring

#### *Informational Components*

Laminate floor is not recommended in kitchens or baths, so care should be taken to prevent it from ever getting wet.

### Walls & Ceiling

#### *Informational Components*

The walls or ceiling have typical cosmetic damage

### Faucet

#### *Components and Conditions Needing Service*

There is a water hammer (bang when water shuts off abruptly) in the kitchen sink. This can be remedied by adding a water hammer arrester. Examples can be seen here:

<http://www.factsfacts.com/MyHomeRepair/WaterHammerArresters.htm>

### Garbage Disposal

#### *Components and Conditions Needing Service*

The electrical connection to the garbage disposal is substandard. The disposal should be powered by an approved appliance cord, or be hardwired.

### Electric Range

#### *Informational Components*

The range is not equipped with an anti-tip device, which prevents the range from tipping, or its contents from spilling, should a child attempt to climb on it or its open door. This is a recommended safety feature that should be installed, and particularly if small children occupy or visit the residence.

### Dishwasher

#### *Informational Components*

The dishwasher was run through a short cycle, and appears to be functional.

### Exhaust Fan or Downdraft

#### *Components and Conditions Needing Service*

The exhaust fan is functional, but it needs to be cleaned or degreased.

### Built-in Microwave

#### *Informational Components*

The built-in microwave is functional, was tested, and showed no signs of leakage.

## Hallway

Our evaluation of hallways is identical to that of living space, except that we pay particular attention to safety issues, such as those involving handrails, guardrails, and smoke detectors.

## Primary Hallway

### No Recommended Service

#### *Informational Components*

We have evaluated the hallway, and found it to be in acceptable condition.

### Smoke Detector

#### *Informational Components*

Smoke detector(s) are present in the home, however we do not test them. Many are wired into the security system, which we feel is a private owner issue. We only report on their presence or absence.

## Attic

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

### Primary Attic

#### Attic Access Location

##### *Informational Components*

The attic can be accessed through a hatch in the hallway ceiling.

#### Method of Evaluation

##### *Informational Components*

We evaluated the attic by direct access.

#### Common Observations

##### *Informational Components*

Portions of the attic are being used for storage. However, its framing was not engineered for such use and storage should be limited to lightweight items.

#### Framing

##### *Informational Components*

The roof framing consists of a factor- built truss system, comprised of components called chords, webs, and struts that are connected by wood or metal gussets nailed or glued in place. Each component of the truss is designed for a specific purpose, and cannot be removed or modified without compromising the integrity of the entire truss. The lowest component, which is called the chord and to which the ceiling is attached, can move by thermal expansion and contraction and cause creaking sounds, which are more pronounced in the mornings and evenings along with temperature changes. Such movement has no structural significance, but can result in small cracks or divots in the drywall or plaster.

#### Ventilation

##### *Components and Conditions Needing Service*

The vapor barrier on the North skylight is incorrectly installed. In a Northern climate such as ours, this barrier should be on the warm side of the insulation (between the drywall and the insulation). There appears to be moisture damage beneath. Access was limited due to safety issues. This should be referred to a licenced contractor.

#### Electrical

##### *Components and Conditions Needing Service*

There is some abandoned wiring left in the attic which should be removed back to a box or panel, or terminated in a junction box. This wire is currently live.



#### Plumbing Vents

##### *Informational Components*

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The drainpipe vents that are fully visible are in acceptable condition.

#### **Exhaust Ducts**

##### *Components and Conditions Needing Service*

The bathroom exhaust duct is separated, and should be repaired.

#### **Blown in fibreglass insulation**

##### *Informational Components*

The attic is insulated, with approximately 6 inches of blown-in fibreglass, which would be equal to R-18.

## **Bedrooms**

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. We test all AFCI (Arc fault circuit interrupters), which are mandated in new construction. We evaluate windows to ensure that they meet light and ventilation requirements and facilitate an emergency exit or egress, but we do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we may not comment on common cosmetic deficiencies which would be visible to the average person.

### **Main Bedroom**

#### **Dual-Glazed Windows**

##### *Components and Conditions Needing Service*

2 window panes have a broken hermetic seal, and should be replaced. This is evident from fogging, or condensation forming between the panes of glass, that confirms that the seal has failed.

#### **Closets**

##### *Components and Conditions Needing Service*

The closet door is functional but damaged, and should be repaired or replaced.

### **1st Guest Bedroom**

#### **Dual-Glazed Windows**

##### *Informational Components*

The window is too high or too small to facilitate an emergency exit or egress. Bedroom windows should measure twenty-four inches high by twenty inches wide, with an optimum sill height of forty-four inches, to facilitate an emergency exit by the occupant and an emergency egress for a fireperson wearing breathing apparatus, and you may wish to have this potentially dangerous condition corrected.

### **2nd Guest Bedroom**

#### **No Recommended Service**

##### *Informational Components*

We have evaluated the bedroom, and found it to be in acceptable condition.

## **Bathrooms**

In accordance with industry standards, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans.

---

## Main Bathroom

### Size and Location

#### *Informational Components*

The main bathroom is a full, and is located adjacent to the master bedroom.

### Doors

#### *Components and Conditions Needing Service*

The door handle does not include a privacy lock, which you may wish to have installed.

### Flooring

#### *Informational Components*

The laminate flooring has swollen near the shower door. This type of flooring should not be used (or used with caution) in wet areas.

### Walls & Ceiling

#### *Informational Components*

The walls have typical cosmetic damage that is commensurate with time and use.

### Sink Faucet Valves & Connectors Trap & Drain

#### *Informational Components*

The sink and its components are functional.

### Exhaust Fan

#### *Components and Conditions Needing Service*

The exhaust fan is functional but noisy. You may wish to consider upgrading it for a quieter one.

### Outlets

#### *Components and Conditions Needing Service*

The outlets should be upgraded to have ground-fault protection.

## Hallway Bathroom

### Size and Location

#### *Informational Components*

The hallway bathroom is a full, and located off the main hallway.

### Flooring

#### *Informational Components*

The floor tiles have been laid to the toilet instead of under it, which would make service more difficult and could involve removing and replacing tiles, etc.

## Laundry

We test washing machines only as far as ensuring the water supply and the drain pump are operational. We do not test the washer if the water is shut off, or if it is full of laundry. We do not test gas dryers if the gas is shut off, or if it contains laundry. The vendor should be questioned as to the complete operation of the units with respect to any problems they may be having with timers, the transmission, etc. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose type with newer braided stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow, and the only remedy would be to replace the standpipe and trap with one that is a size larger.

## Laundry Room

### Cabinets

#### *Components and Conditions Needing Service*

The cabinets need typical hardware service to work well, such as adjusting or replacing drawer glides, pull latches, hinges, catches, etc.

### Faucet

#### *Components and Conditions Needing Service*

The laundry sink faucet is loose, and should be secured.

### Valves & Connectors

#### *Components and Conditions Needing Service*

There is a leak on the hot water shut-off valve that should be repaired.

### Dryer Vent

#### *Components and Conditions Needing Service*

The dryer vent is a flexible plastic type that traps lint more easily than a smooth metal type, which can compromise the performance of the dryer and can facilitate a fire, and you may wish to consider replacing it.



## Garage

It is not uncommon for moisture to penetrate garages, because their slabs are on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations, that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade, and some sidewalls are even cored to relieve the pressure that can build up behind them, and which actually promotes drainage through the garage. Also, if there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps and hold-downs, and plywood shear paneling. However, we are not an authority in such matters, and you may wish to discuss this further with a structural engineer. In addition, and inasmuch as garage door openings are not standard, you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

## Double-Car Garage

### Slab Floor

#### *Informational Components*

The slab floor is cracked, but not load-bearing. Such cracks are common and result as a consequence of the curing process, seismic activity, ordinary settling, or the presence of expansive soils, but are not structurally threatening.

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There are some hollow areas under the slab, which may crack at some time in the future. This is caused by incomplete excavation when the dwelling was constructed.

### **Dual-Glazed Windows**

#### *Components and Conditions Needing Service*

A windows lock is missing or does not engage, and should be serviced.

### **Entry Door Into the House**

#### *Components and Conditions Needing Service*

The house entry door is not self-closing and is required to be, to maintain the necessary firewall separation between a garage and living quarters, and will need to be serviced.

### **Garage Side Door**

#### *Components and Conditions Needing Service*

The door swings outward, and poses a security risk, as entry could be gained by simply removing the hinge pins. These should be replaced with Non-removable pin (NRP) type.



### **Automatic Opener**

#### *Informational Components*

The garage door opener does not have an emergency manual release, designed to permit garage access in the event of a power failure or emergency.

### **Outlets**

#### *Components and Conditions Needing Service*

The outlets should be upgraded to have ground fault protection, which, although not code, is an important safety feature.

### **Electrical**

#### *Components and Conditions Needing Service*

There is a junction box which is missing a cover. This should be corrected to avoid the risk of a shock.

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## AFFILIATIONS AND CERTIFICATIONS



Canadian  
Association  
of Home &  
Property  
Inspectors



## REPORT CONCLUSION

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Congratulations on the purchase of your new home. Inasmuch as we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of rooter service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or a manufacture's defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report, and we will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.

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